

# SABIN GREEN

# RESIDENTIAL DEVELOPMENT

## communitecture    *building community*

1639 SE 12th Avenue    Portland, Oregon 97214    t 503.230.1293

### STRUCTURAL ENGINEER

Thomas Baughman PE

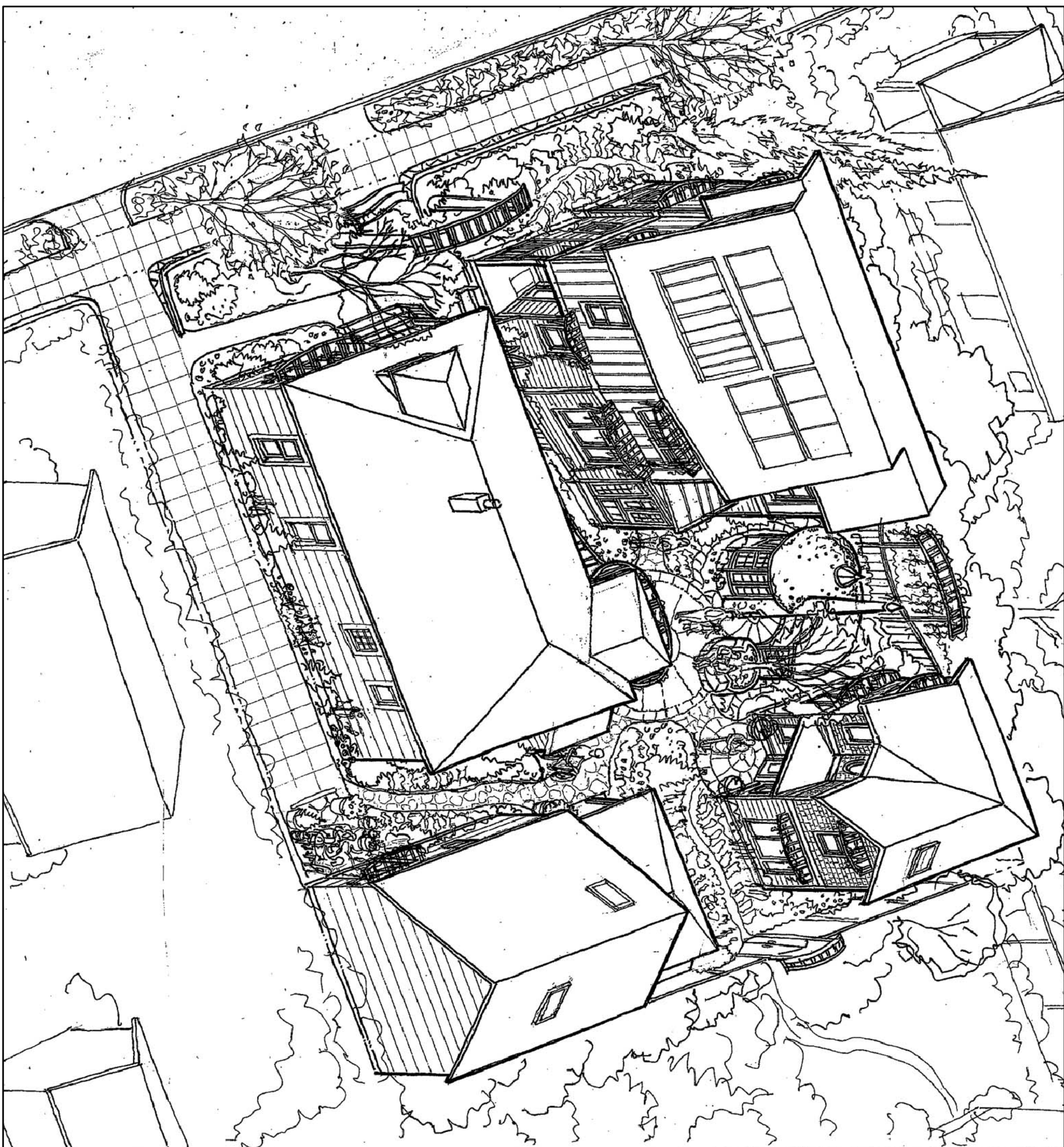
Madden & Baughman

2632 SE 25th Ave, suite G  
Portland, Oregon 97202  
t 503.236.7611 f 503.236.9411

### OWNER

Eli Spevak

4516 NE 18th Avenue #6  
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#### GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY DESIGNER OF ANY DEVIATIONS FROM DRAWINGS PRIOR TO CONTINUATION OF WORK.
- CONTRACTOR SHALL NOTIFY DESIGNER OF ANY NEED FOR DESIGN CHANGES DUE TO FIELD CONDITIONS OR OBSERVATIONS PRIOR TO CONTINUING WORK.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, AND GRID LINES UNLESS OTHERWISE NOTED.
- SAFETY GLAZING IS REQUIRED WHERE GLASS IS WITHIN 18" OF THE FLOOR AND 24" OF DOORS. SEE IRC SEC. R308 ADDITIONAL SAFETY REQUIREMENTS.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST CODES WITH LOCAL AMENDMENTS AND ORDINANCES AND GOOD STANDARD PRACTICE. CONTRACTOR TO COORDINATE ALL DIMENSIONS, SIZING AND OPENINGS WITH ALL TRADES. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO INSURE PROPER FIT.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- FRAMING CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES AND DETAILS FOR DOORS, WINDOWS, EXHAUST, FANS, AND VENTS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- ARCHITECT NOT RESPONSIBLE FOR WATER PENETRATION OF EXISTING ROOFING, FLASHING, OR PARAPETS.
- WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE OF THE BEST MATERIAL AND WORKMANSHIP.
- CONTRACTOR SHALL TAKE ALL THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION. CONTRACTOR ASSUMES ALL LIABILITY FOR DAMAGES INCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES.
- THE STARTING OF WORK BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT THEY HAVE INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN THE WORK AND FIND THEM SATISFACTORY.
- CONTRACTOR SHALL TIE NEW UTILITIES INTO PRIVATE & PUBLIC LINES AS REQUIRED BY PUBLIC, PRIVATE UTILITIES OR COUNTY.
- CONTRACTOR SHALL COORDINATE WORK OF MECH. AND ELEC. SUBCONTRACTORS AND NOTIFY DESIGNER OF ANY CONFLICTS OR VARIATIONS FROM I.R.C. REQUIREMENTS. ALL WORK TO CONFORM TO ALL RELEVANT CODES AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.
- CONTRACTOR SHALL VERIFY AND CONFIRM ALL SIZES & DIMENSIONS PRIOR TO ORDERING.

#### MECHANICAL/PLUMBING:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC), INTERNATIONAL PLUMBING CODE (IPC), AND THE INTERNATIONAL FIRE CODE (IFC)
- ALL MECHANICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD AND PERFORMED BY A LICENSED CONTRACTOR.

#### ELECTRICAL:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL ELECTRICAL CODE.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
- ALL OUTLETS WITHIN 6'0" OF WATER DRAIN OUTLET SHALL BE G.F.C.I.'S

#### ENERGY CODE:

	BASE PATH 1
VAULT OVER 50%	R-38
VAULTED CEILINGS	R-30
FLAT CEILINGS	R-38
WOOD-STUD WALLS	R-21
WINDOWS	U 0.40
SKYLIGHTS	U 0.50
MAIN ENTRY DOOR	U 0.34
OTHER EXTERIOR DOORS	U 0.20
UNDERFLOOR	R-25
SLAB EDGE (PERIMETER)	R-15

#### DRAWING INDEX:

AA.0	SITE PLAN & ZONING
AA1.0	FLOOR PLANS & SCHEDULES
AA1.1	MAIN RESIDENCE - REFLECTED CEILING & ROOF PLAN
AA2.0	MAIN RESIDENCE - SECTIONS & DETAILS
AA3.0	MAIN RESIDENCE - ELEVATIONS
AA1.0	ACCESSORY BUILDING - FLOOR PLANS & SCHEDULES
AA2.0	ACCESSORY BUILDING - SECTIONS & DETAILS
AA3.0	ACCESSORY BUILDING - ELEVATIONS
AA.0	ARCHITECTURAL DETAILS
SO	STRUCTURAL NOTES
SA1	MAIN RESIDENCE - FRAMING PLANS
SA1	ACCESSORY BUILDING FRAMING PLANS
SA1	FOUNDATION DETAILS
S2	FRAMING DETAILS

## Construction Set

04.14.06

#### ELECTRICAL LEGEND

⌀	DUPLEX OUTLET	↗	TRACK LIGHTING
⌀	GROUND FAULT INTERRUPT OUTLET	⊙	CEILING MOUNTED LIGHT FIXTURE
⌀	EQUIPMENT OUTLET PER MFR'S SPECIFICATIONS	⊙	WALL MOUNTED LIGHT FIXTURE
\$	SINGLE POLE SWITCH	⇄	UNDER CABINET FLUORESCENT
\$	DOUBLE POLE SWITCH	⇄	2-TUBE x48 FLUORESCENT
⚡	TELEPHONE OUTLET	⊠	CEILING FAN W/ LIGHT
⊠	SMOKE DETECTOR	⊠	VENTILATION FAN W/ LIGHT 50 CFM
⊠	THERMOSTAT	⊠	ELECTRIC WALL HEATER

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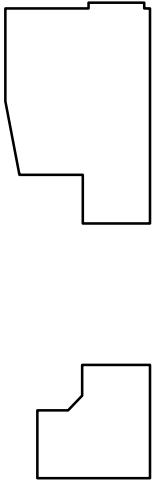
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structural engineer t 503.236.9411

DATE 04.14.06

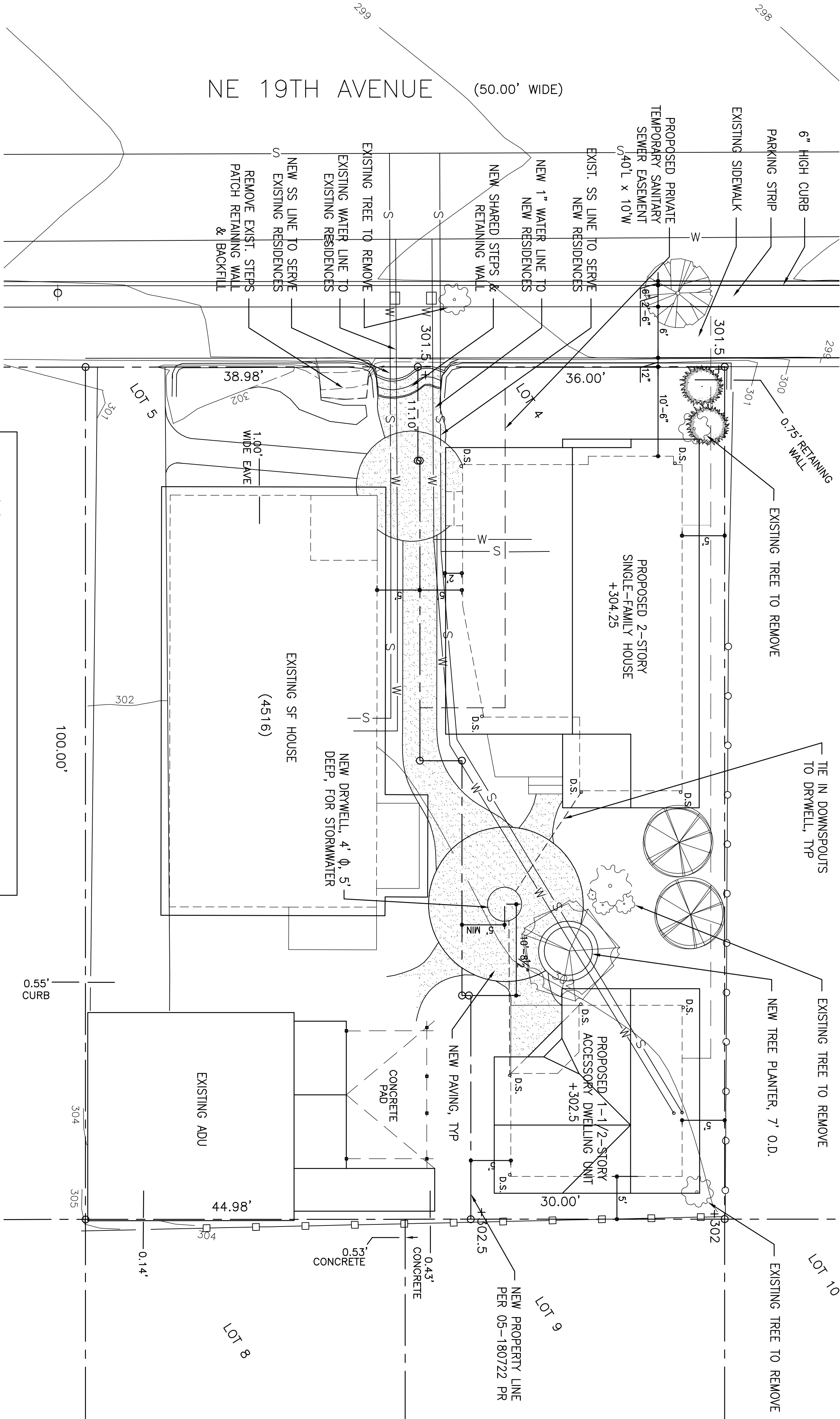
50% REVIEW 02.22.06  
85% REVIEW 03.14.06

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SITE PLAN & ZONING

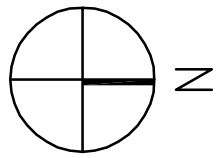
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TREE SCHEDULE

symbol	no.	scientific name	common name	size
	1	Cercis occidentalis	Western Redbud	2" col.
	2	Malus /Prunus sp.	Dwarf Fruit Trees	1.5" col.
	2	Thuja plicata 'hogan'	Narrow W. Red Cedar	1.5" col.
	1	Street Tree TBD	from approved PDX street tree list	1.5" col.

1 SITE PLAN  
A0 SCALE: 1/8"=1'-0"



SITE INFORMATION

ADDRESS: NOT ADDRESSED  
LEGAL: VERNON, LOT 4, BLOCK 60, TL 23200  
MULTNOMAH COUNTY  
TAX ACCOUNT # R295717  
STATE ID # IN1E23AD 23200  
ZONING: R5  
LOT AREA: 3285 SF  
ZONING ADJUSTMENTS: LU 05-180798 AD  
PROPERTY LINE ADJUSTMENT: 05-180722 PR  
REQUIRED PARKING: NONE PER 05-180798 AD

ZONING INFORMATION

MAIN UNIT	ADU UNIT
FRONT SETBACK	FRONT SETBACK
SIDE SETBACK	SIDE SETBACK
REAR SETBACK	REAR SETBACK
GARAGE ENTRANCE SETBACK	GARAGE ENTRANCE SETBACK
MAXIMUM ALLOWED HEIGHT	MAXIMUM ALLOWED HEIGHT
MAIN UNIT BUILDING COVERAGE	ADU BUILDING COVERAGE
MAIN UNIT IMPERVIOUS AREA	ADU IMPERVIOUS AREA
MAIN UNIT BUILT AREA	ADU BUILT AREA
2380 SF	563 SF

SUMMARY	
TOTAL LOT COVERAGE	1203 SF
ALLOWED COVERAGE	1607 SF
PERCENTAGE COVERAGE	36.6%
TOTAL IMPERVIOUS AREA	2070 SF
ADU LOT COVERAGE	10.4%
ADU/MAIN AREA PERCENTAGE	22%

- SYMBOLS
- ⊙ = POWER POLE
  - W = WATER METER
  - ⊙ = EXIST. TREE
  - ⊙ = NEW TREE
  - W — = WATER LINE
  - S — = SAN. SEWER

\* EAVE ENCROACHMENT OF 2'-0" INTO SETBACK

PER LU 05-180798 AD

\*\* ADU MAXIMUM COVERAGE = 18% OF LOT



WINDOW SCHEDULE ALL WINDOWS BY MARVIN, INTEGRITY OR WOOD-CLAD SERIES

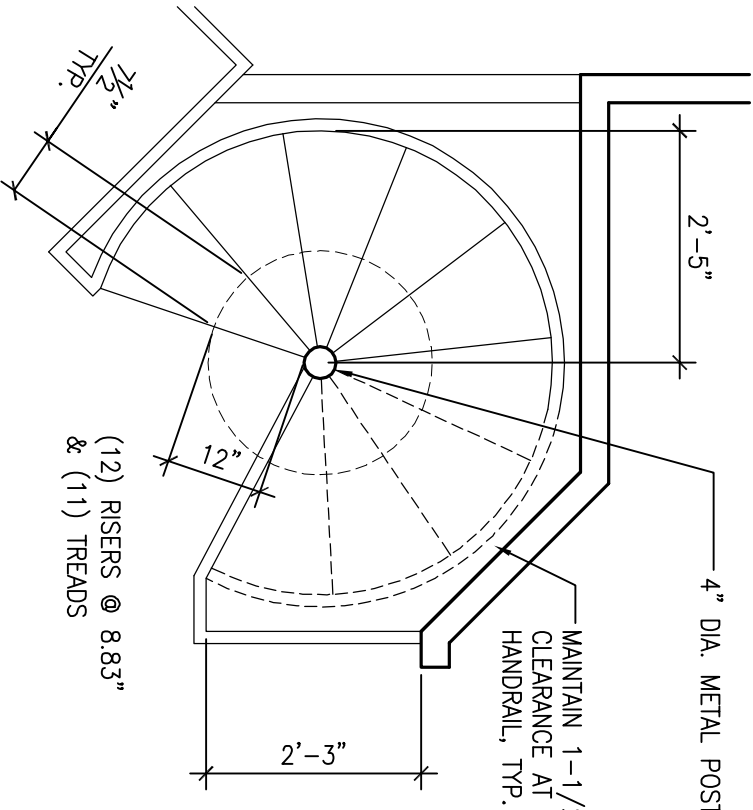
TAG	ROOM	SIZE (WxH)	TYPE	HEAD HT. AFF	LIGHT (SF)	VENT (SF)	COMMENTS
100	GREAT ROOM	5'-4" x 3'-11"	(2) ICAT1747 & STATIONARY IC43347	6'-8"	15.24	7.22	
101	GREAT ROOM	2'-0" x 3'-3"	CASEMENT IC42955	6'-8"	3.90	4.31	
102	GREAT ROOM	2'-11 1/2" x 3'-4"	DOUBLE-HUNG IDH3640	6'-8"	6.48	3.68	
103	GREAT ROOM	5'-4" x 3'-11"	(2) ICAT1747 & STATIONARY IC43347	6'-8"	15.24	7.22	
104	GREAT ROOM	2'-4" x 4'-7"	STATIONARY IC4 2995	6'-8"	7.90	0.00	
105	GREAT ROOM	2'-4" x 4'-7"	CASEMENT IC42955	6'-8"	7.90	8.52	
200	GREAT ROOM	2'-8" x 3'-11"	STATIONARY IC43347	6'-8"	7.80	0.00	
201	BATH	2'-4" x 2'-7"	JAMING JAMN3323	5'-0"	3.33	3.68	
202	LOFT	2'-11 1/2" x 5'-0"	DOUBLE-HUNG IDH3660	6'-8"	10.60	5.95	EGRESS WINDOW
203	LOFT	2'-0 1/2"x2'-1"	GFCIR27501S ROUNDTOP	13'-0"	1.89	0.00	
204	GREAT ROOM	2'-4" x 4'-7"	STATIONARY IC42955	13'-10"	7.90	0.00	

NOTE: ROUGH OPENINGS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO VERIFY.

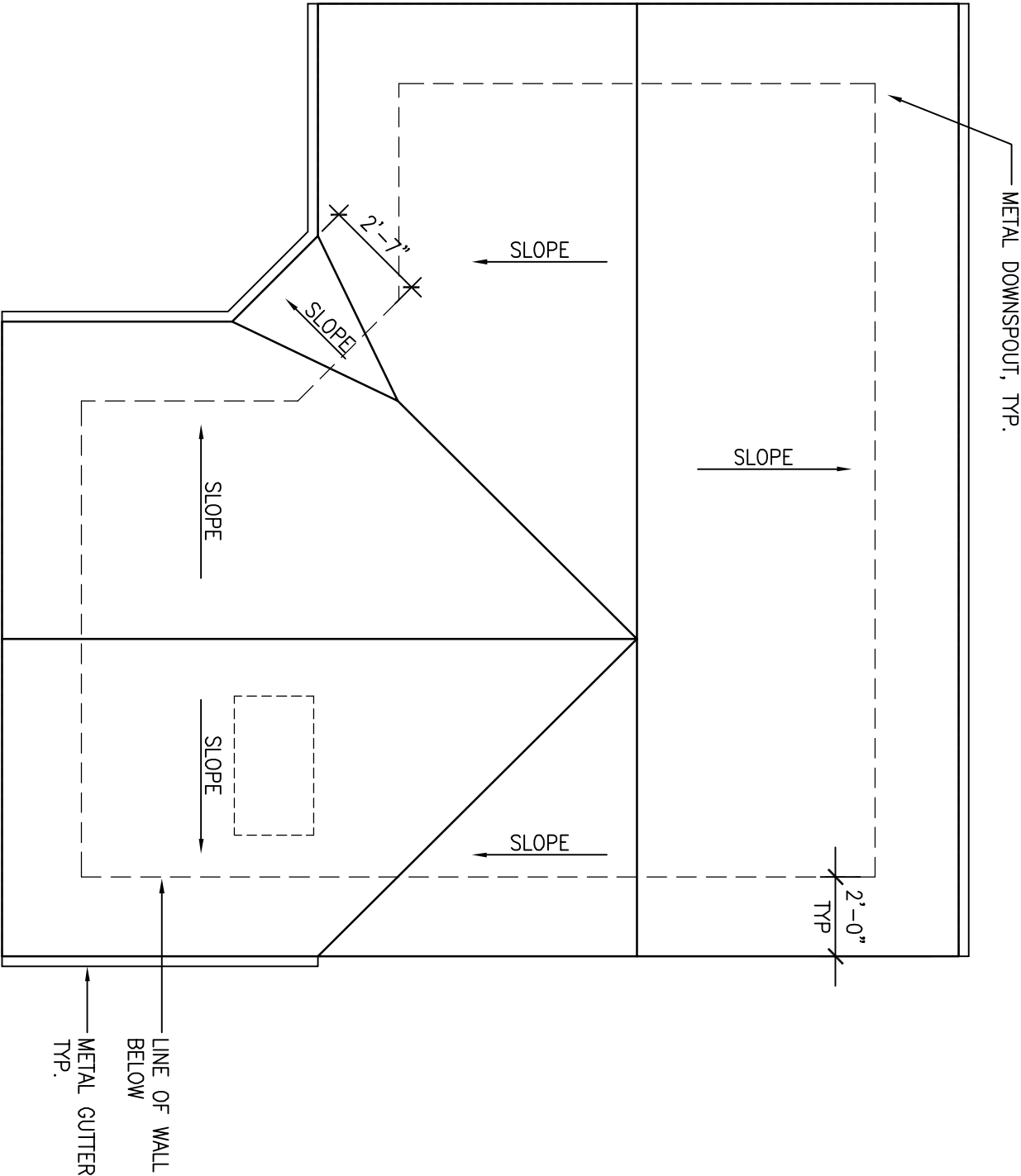
LIGHT AND VENT PROVIDED MEET CODE REQUIREMENTS. LIGHT > 10% OF ROOM AREA VENT > 5% OF FLOOR AREA

DOOR SCHEDULE ALL DOORS BY OWNER

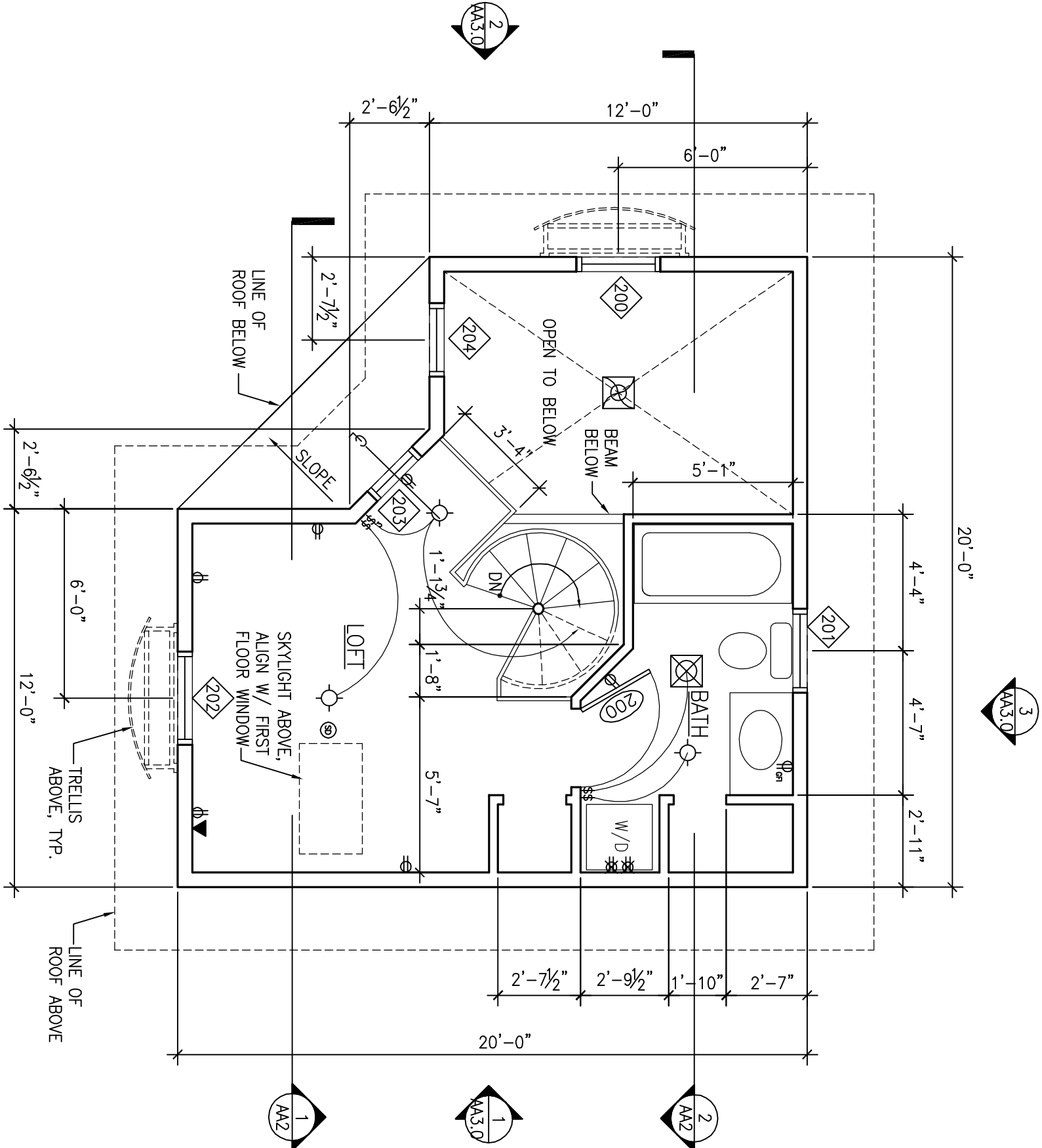
TAG	ROOM	SIZE (DOOR)	TYPE	MATERIAL	HWMT TYPE	LIGHT (SF)	VENT (SF)	COMMENTS
100	GREAT ROOM	3'-0" x 6'-8"	EXTERIOR ENTRY	WD/GLASS	1		30.33	
101	CLOSET	3'-0" x 6'-8"	PAIR INT. SWING	WOOD	3	N/A	N/A	
200	BATH	2'-6" x 6'-8"	INT. SWING	WOOD	4	N/A	N/A	



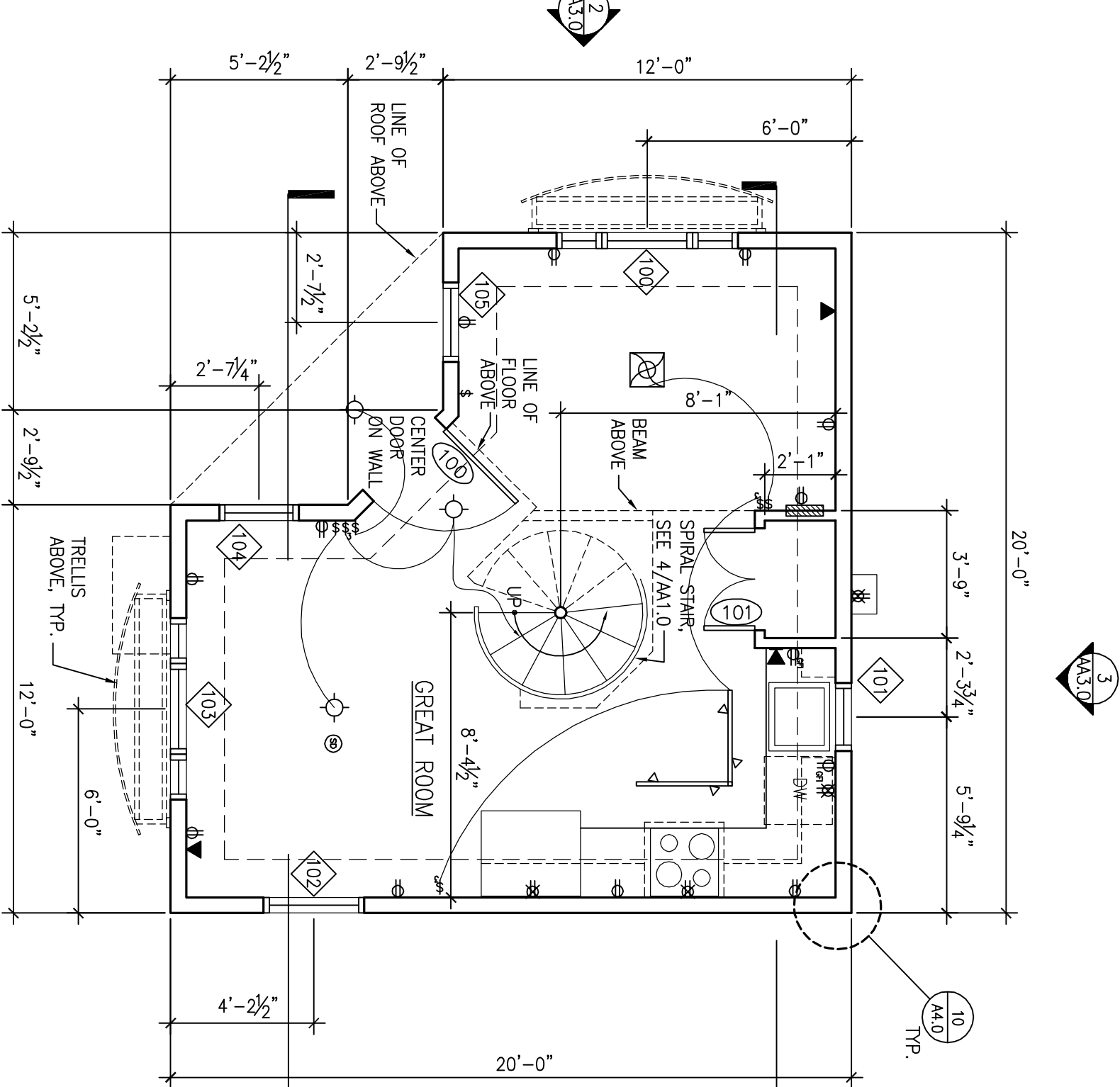
4 STAIR PLAN  
SCALE: 1/2"=1'-0"



3 ROOF PLAN  
SCALE: 1/4"=1'-0"



2 LOFT FLOOR PLAN  
SCALE: 1/4"=1'-0"



1 GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"

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FLOOR PLANS & SCHEDULES

AA1.0

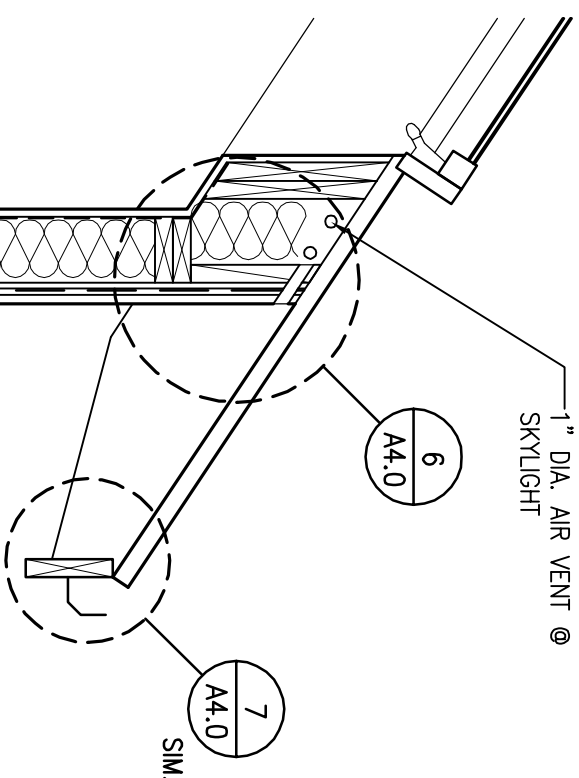
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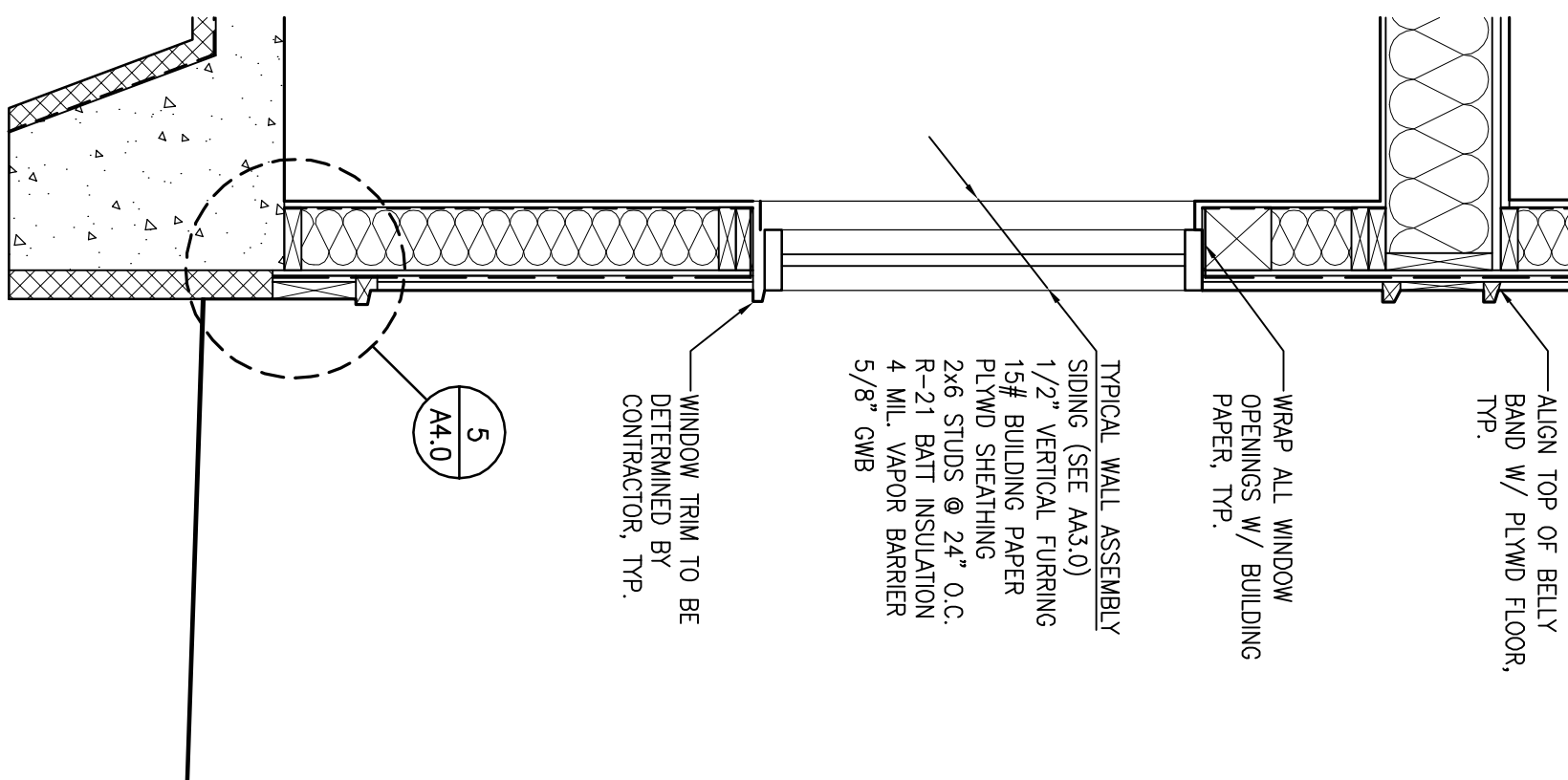
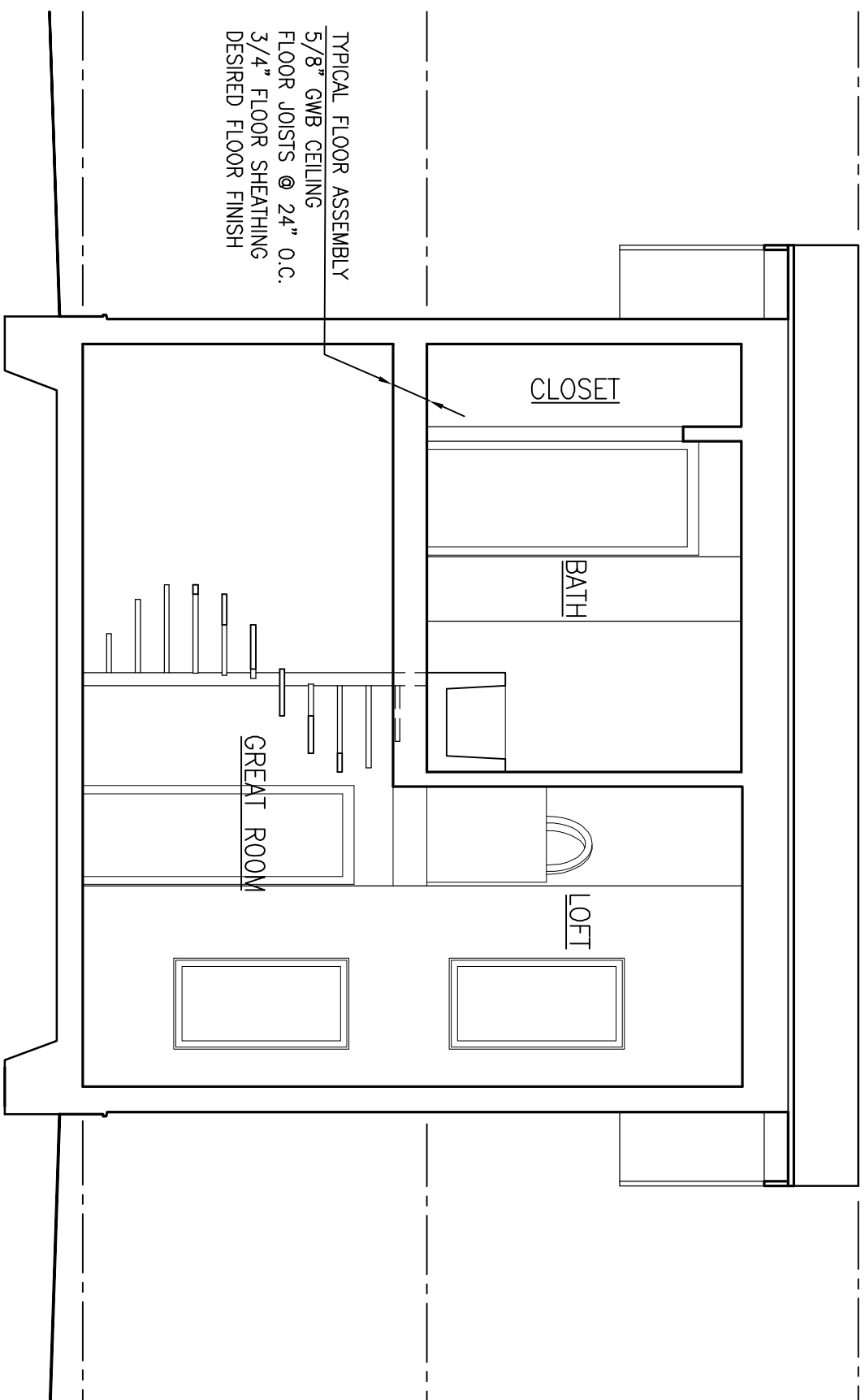
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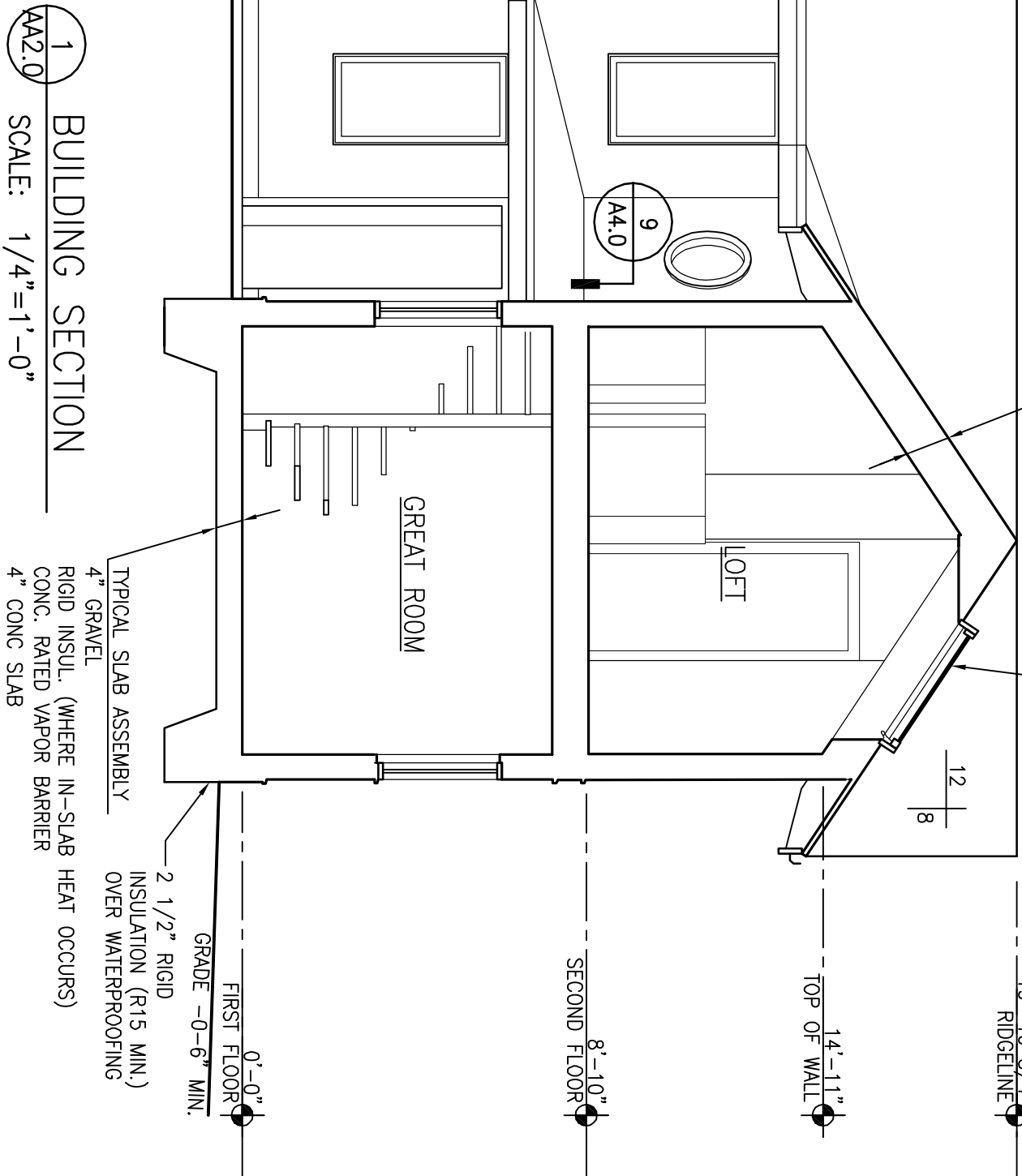
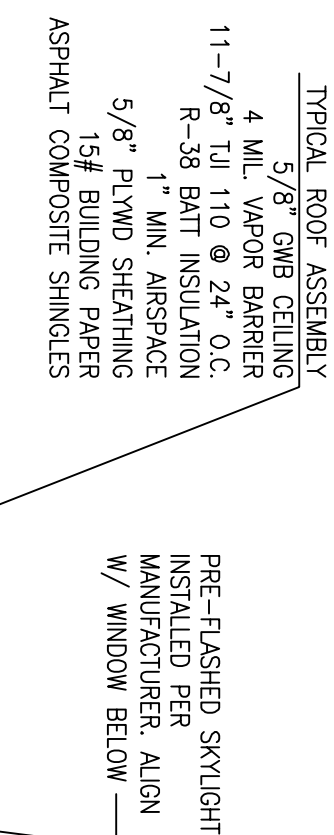
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2 BUILDING SECTION  
AA2.0 SCALE: 1/4"=1'-0"



3  
AA2.0  
WALL SECTION  
SCALE: 3/4"=1'-0"



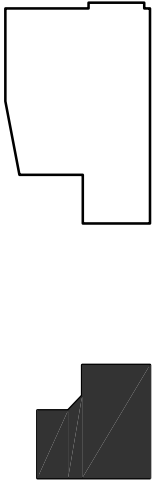
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AA2.0

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BUILDING SECTION

SCALE: 1/4"=1'-0"

**BLDG. & WALL  
SECTIONS**



# AA2.0

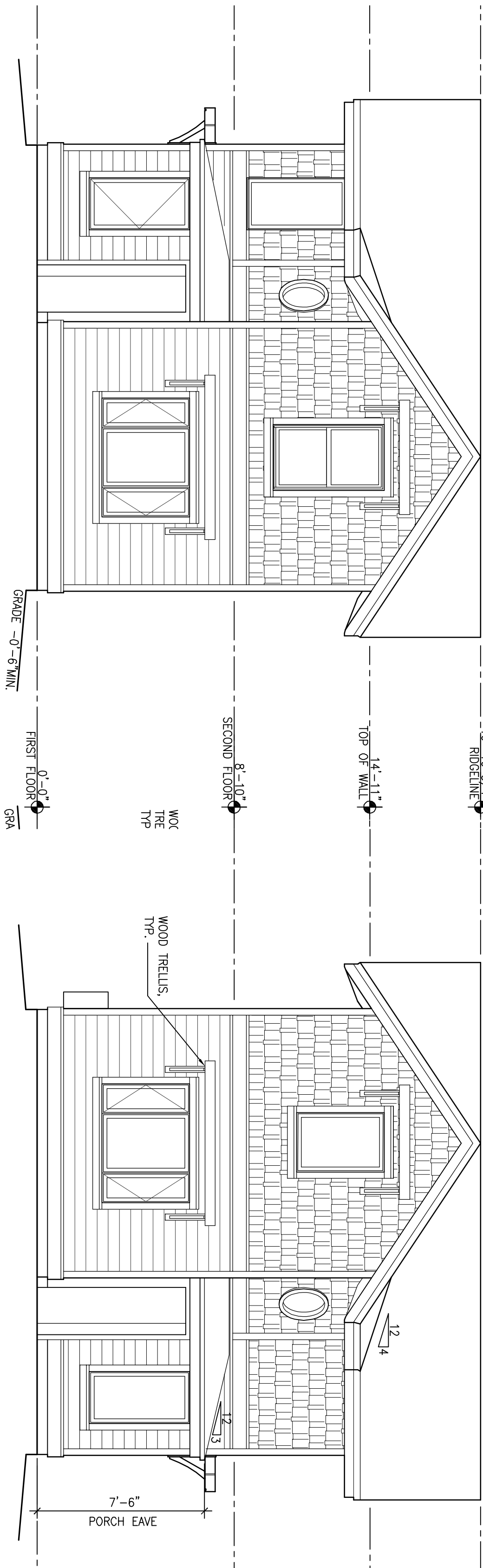
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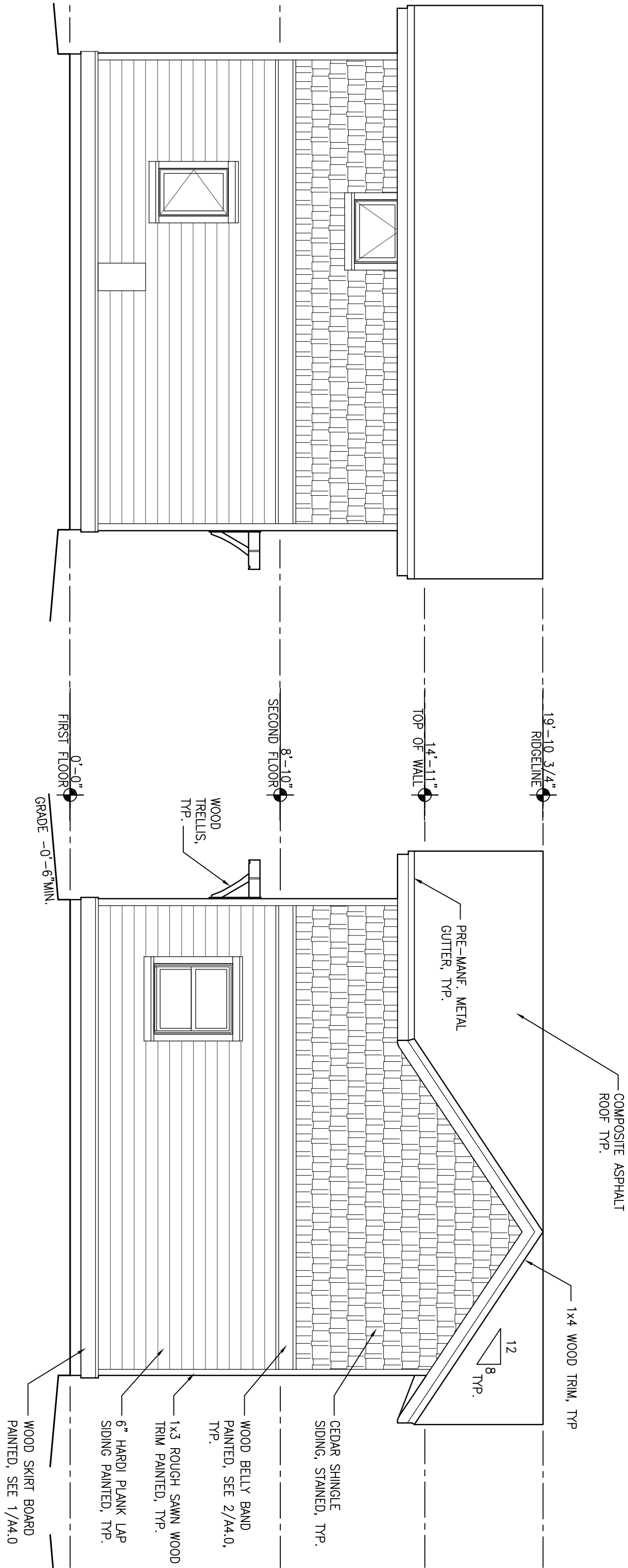
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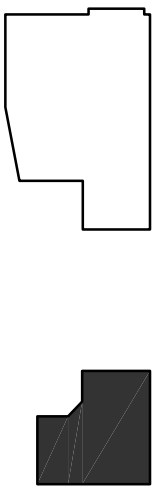
4 SOUTH ELEVATION  
AA3.0 SCALE: 1/4"=1'-0"

2 WEST ELEVATION  
AA3.0 SCALE: 1/4"=1'-0"



3 NORTH ELEVATION  
AA3.0 SCALE: 1/4"=1'-0"

1 EAST ELEVATION  
AA3.0 SCALE: 1/4"=1'-0"



ELEVATIONS

AA3.0